

▶ DESIGN GUIDELINES



SALTWATER COAST
POINT COOK

IT ALL POINTS TO A BETTER LIFE

Brought to you by...



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▶ GET READY FOR A BETTER LIFE.

IT ALL STARTS HERE: YOUR DESIGN GUIDE TO THE CONSTRUCTION AND MAINTENANCE OF YOUR LIFESTYLE AND INVESTMENT.

I INTRODUCTION

I.1 ABOUT FKP

FKP's vision for Saltwater Coast is a delicate balance of urban, natural coastal and rural residential themes providing a popular living environment responsive to the characteristic, aspiration and cultural identity of the community.

Saltwater Coast will offer a choice of homesites to suit every lifestyle. Designs will reflect a unified contemporary Australian style with a clear coastal influence.

Premium lots will retain captivating vistas to Port Phillip Bay and the Melbourne CBD skyline, whilst more affordable lots will provide a convenient low-maintenance lifestyle.

Saltwater Coast will respond to the distinctive coastal identity and contribute to the natural setting.

Saltwater Coast will also boast an array of lifestyle facilities with the planned commercial and retail shopping precinct, providing residents with convenience and specialty shops and the proposed Saltwater Lifestyle Centre featuring a recreation club, indoor and outdoor pool and gym.

I.2 SALTWATER COAST VISION

Saltwater Coast is a thriving bayside community, located only 20kms from the city. Situated in tranquil Point Cook, it's surrounded by the Point Cook Coastal Park, a protected marine sanctuary and the Cheetham Wetlands.

Designed with the community in mind, residents at Saltwater Coast have a lot to look forward to. They can enjoy access to a state-of-the-art Lifestyle Centre, with three pools, a gym, function room, bar and a café. There are also over 120 acres of parklands with BBQ facilities, playgrounds and picnic areas. Plus the development is only a stones throw from a number of great beaches.

What's more, its location by Port Phillip Bay makes it the last development in Melbourne with bay and city views. Just another reason why Saltwater Coast is a great place to call home.

I.3 TELSTRA SMART COMMUNITY®

Saltwater Coast is a Telstra Smart Community®. This provides our development with an exclusive Telstra Velocity™ network which uses the next generation optical fibre to smart wire your new home with the most up to date communication and entertainment services.



Figure 1.

2 THE PURPOSE

The Design Guidelines are intended to protect your lifestyle and investment by ensuring a high standard of design, construction and maintenance of all dwellings and landscaping; and by providing owners and builders with guidance on their home and garden designs.

The Design Guidelines allow flexibility in housing styles and formats to suit your lifestyle, without compromising the prestige and character of the community.

Saltwater Coast will provide enhanced streetscapes, parks, lakes, wetlands and valuable community amenities. It is particularly important that individual residences contribute to the overall character and image of the community estate.

All building designs must be approved and endorsed by FKP's Saltwater Coast Design Review Committee. Compliance with the Design Guidelines is a requirement of your Contract of Sale prior to obtaining your building permit.

2.1 THE STRUCTURE

The Design Guidelines have been written to help you design your new home with high levels of amenity, privacy, sustainability and visual appeal, in terms of architectural form, building materials, colours and landscape treatments. Individuality is encouraged and the design of all new homes must reflect a contemporary Australian design character.

The Design Guidelines comprise a number of sections, each relating to different aspects of your home layout and design. These include:

- Site Layout and Set Backs
- Building Height
- Architectural Design
- Access and Parking
- Landscape
- Fencing
- Ancillary Features

Within each section, a series of Design Objectives and Design Controls are provided. The Design Objectives are intended to communicate the broad principles for the design and siting of your home and landscape, and the corresponding Design Controls are specific standards which must be met when designing your home. The design of your home must be able to demonstrate clearly that it meets both the Design Objectives and the Design Controls.

Note: Unless otherwise specified in the Design Guidelines, all development must comply with the relevant provisions of ResCode, as contained within the Wyndham Planning Scheme (clauses 54 to 56). Other relevant Government requirements such as Building Code of Australia (BCA) provisions for energy efficient new housing with a minimum of 5 star rating must also be demonstrated. Only house designs that satisfy these requirements will be permitted to be constructed.



Figure 2.

2.2 THE PROCESS

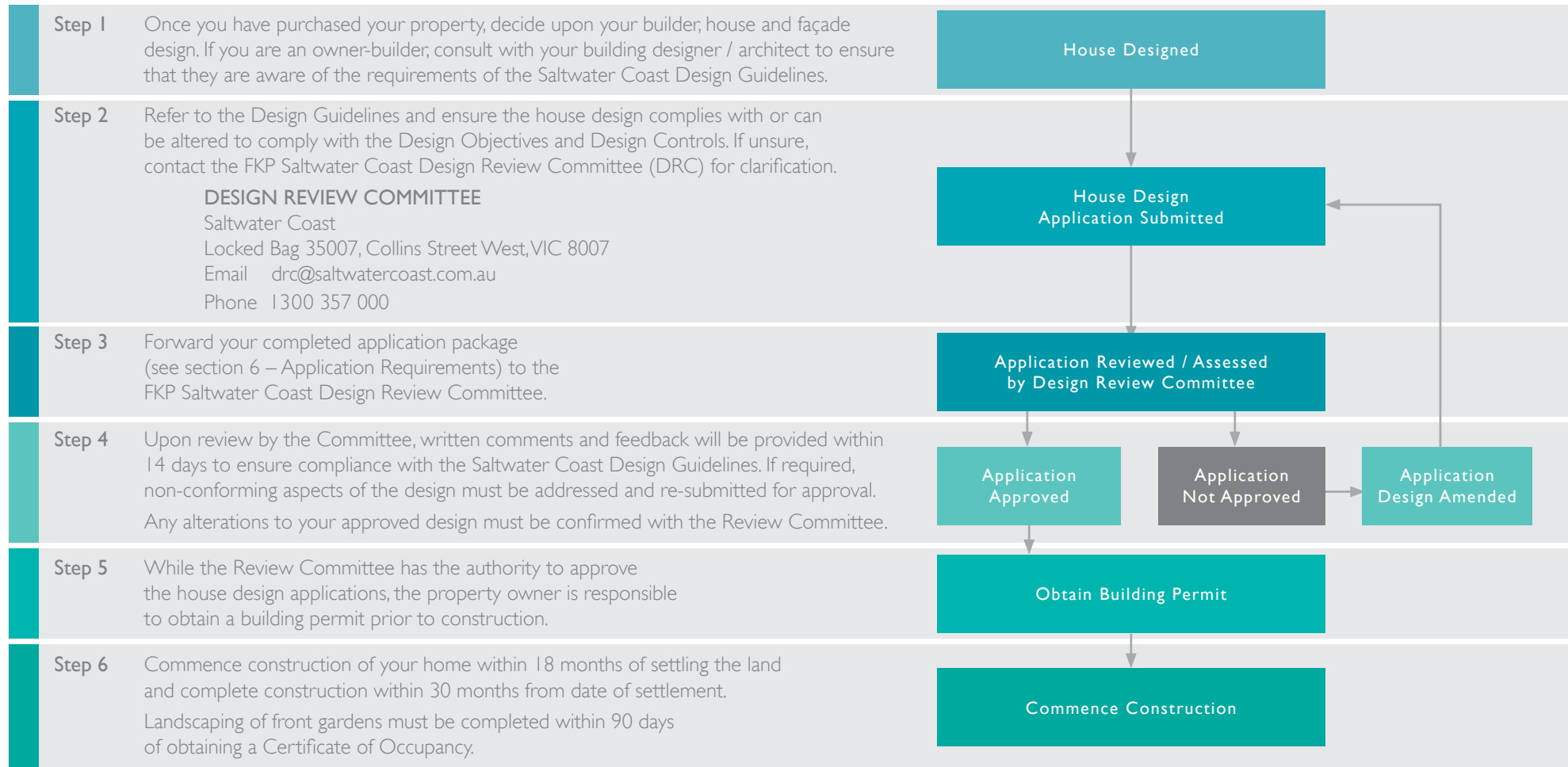


Figure 3.

3 THE VILLAGES

The vision for Saltwater Coast is to achieve a neighbourhood character which:

- Reflects a unified contemporary Australian style in residential development with a clear coastal influence.
- Retains important vistas to Port Phillip Bay and the Melbourne CBD skyline.
- Responds to the distinctive coastal identity and contributes to the natural setting.



Figure 4.

4 THE DESIGN GUIDELINES

4.1 SITE LAYOUT AND SET BACKS

4.1.1 Design Objectives

- To limit each lot to a single dwelling.
- To ensure a dedicated address and frontage to the street, or both streets for corner sites.
- To provide a consistent set back of houses along the street and encourage a high level of articulation.
- To provide the opportunity for landscape between houses.
- To encourage private living spaces on the north and east side of houses.
- To encourage useable private open space.
- To minimise overlooking and overshadowing of neighbours.
- To provide energy efficient housing appropriate to local conditions.
- To reduce resource consumption in the heating and cooling of your home.
- To promote passive methods of cooling your home.
- To ensure efficient and safe stormwater drainage and runoff from your property.

4.1.2 Design Controls

BUILDING ENVELOPES

- One single dwelling only may be constructed on each lot. Excluding Future Medium Density Sites.
- Lots greater than 450m² require a house plot (ground floor) of no less than 150m². Excluding Future Medium Density Sites.
- Lots smaller than 450m² require a house plot (ground floor) of no less than 110m². Excluding Future Medium Density Sites.

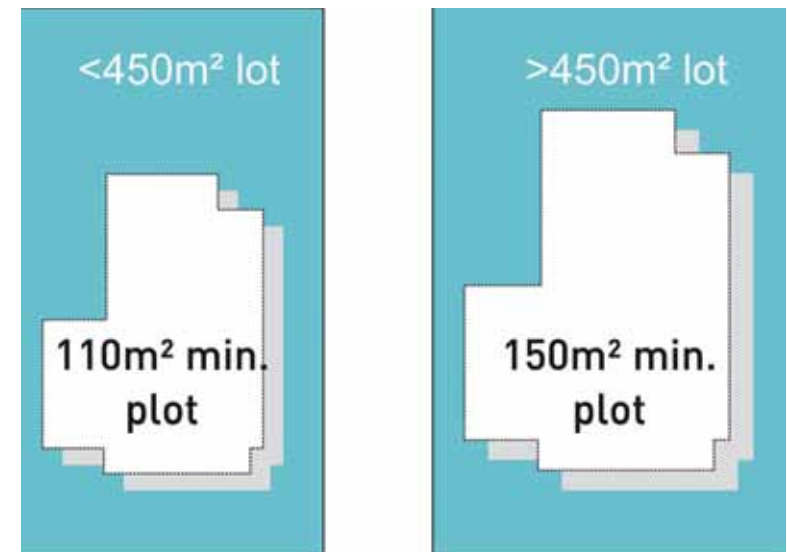


Figure 5.

SET BACKS

Building set backs are designed to create articulated streetscapes which respect view corridors. Set backs should also ensure good solar access is maintained to all habitable room windows and private open space, and avoid excessive amenity impact between lots. The following minimum set backs apply:

Single Dwelling Lots

Front Minimum 4.5m and maximum 5m from the front boundary to the building line.
Roofed verandah/porch/balcony elements and eaves may encroach no more than 1.5m into the front setbacks.

Rear Minimum 3.0m from the rear boundary.

Side Minimum 1.2m for single storey dwellings.
Minimum 1.8m for the upper level of double storey dwellings.

House design must comply with the provisions of ResCode as outlined in the Wyndham Planning Scheme (Clauses 54 to 56) unless specified. Single storey walls and garages may be built to the boundary if the design can be justified by demonstrating efficiency and amenity benefits. Dwellings will not be permitted to have zero lot line set backs on both side boundaries.

Garages Garages must be set back behind the front façade of the dwelling at least 0.5m.

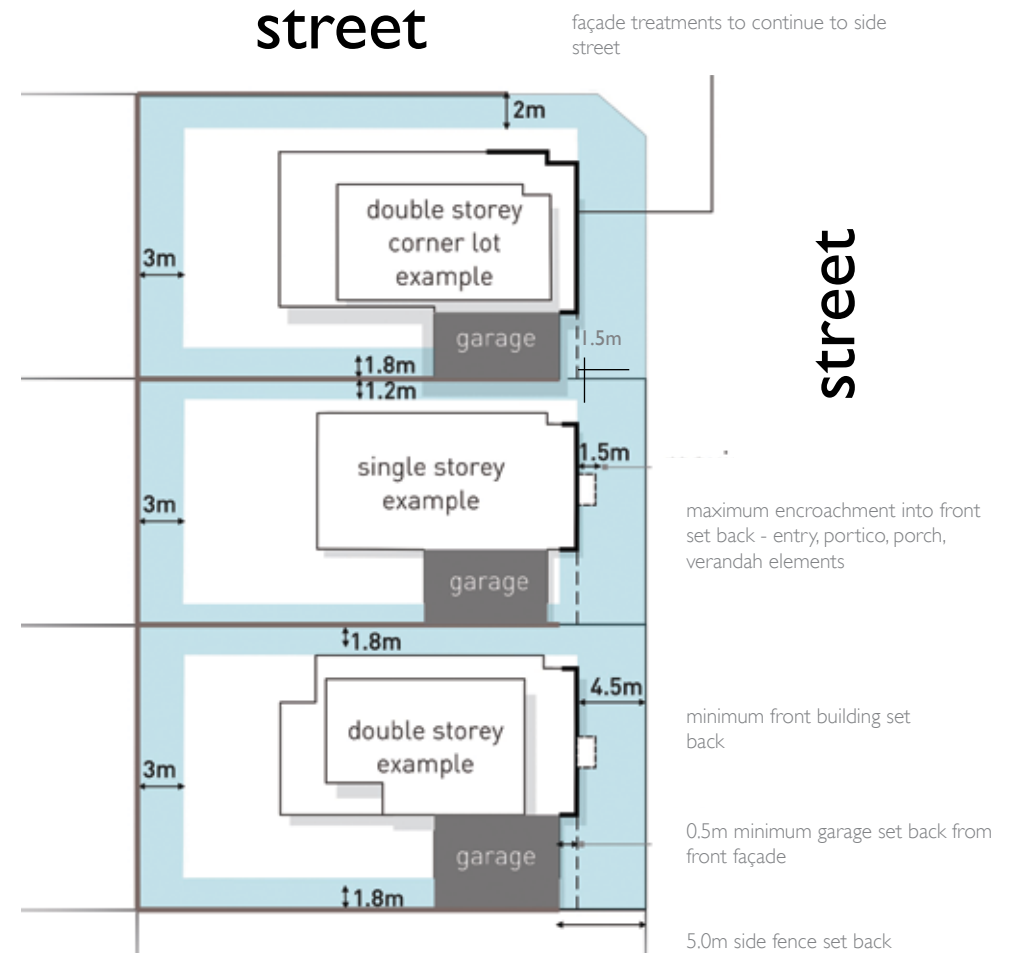


Figure 6.

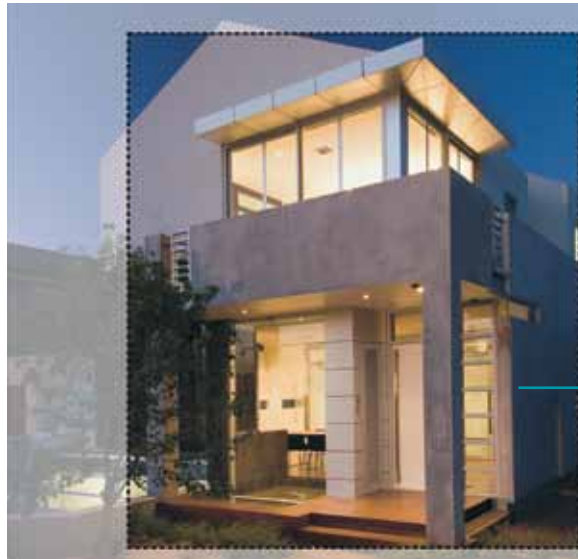
Corner Single Dwelling Lots

Side

Minimum 2.0m from side street boundary. Designs for corner sites must address both street frontages. Side elevations should be given equal attention on these sites to create 'multi-sided' buildings. Primary façade treatments must continue along the exposed side façade to at least the same depth of the starting point of side fencing.

A home that is constructed on a corner lot must address both streets so that:

- habitable room windows overlook the side street, and
- there are no external services visible from either street.



Corner lots to address both streets and continue façade treatments

Figure 7.

Future Medium Density Sites

Future Medium Density Sites are excluded from Site Layout and Set Back requirements.



Figure 8. North facing open space and direct access to living areas



Figure 9. Place windows to maximise solar access and natural ventilation

4.2 BUILDING HEIGHT

4.2.1 Design Objectives

- To ensure that all houses conform to a consistent range of heights.
- To ensure that no individual house dominates the streetscape or neighbourhood.

4.2.2 Design Controls

HEIGHT

- The height and form of two storey homes must be consistent with the objectives and standards of ResCode and relevant Building Regulations, in particular with respect to off-site amenity impacts including overshadowing, overlooking and visual bulk.
- Building height restrictions are applicable to single residential lots only unless approved by the saltwater coast DRC.

Note: Building height restrictions are applicable to single residential lots only and may not affect Future Medium Density Sites, commercial and / or community buildings.



Figure 10.

4.3 ARCHITECTURAL DESIGN

4.3.1 Design Objectives

- To achieve high quality architectural designs and finishes.
- To ensure contemporary design of dwellings and associated gardens.
- To achieve designs that reflect the local residential and coastal sense of place.
- To ensure a 'total' building design with integrated elevation and roofing treatments.
- To adopt a varied palette of materials and finishes to ensure a visually interesting design.

4.3.2 Design Controls

CHARACTER

- Buildings must be contemporary in design, finish and form and reflect a contemporary Australian character.
- Buildings must not include any architectural decorative elements that reflect past traditional styling (for example: Victorian, Edwardian, Queen Anne, Colonial, Georgian, Federation eras etc).



Figure 11.



Figure 12.



Figure 13.



Figure 14.



Figure 15.



Figure 16.

- Building must demonstrate careful consideration to the composition of the building façade and detailing.
- The façade of your home must include features such as porticos or verandahs to visually break up long walls.
- All exposed sides of your home must include contrasting materials in a visually interesting manner.
- Garages must not dominate the appearance of the house and must be a complementary and recessive element to the building façade.
- Excluding Dedicated Medium Density Sites, buildings must not be of identical façades within three house lots along either side of the street. In the event that two applications request the same or similar façade design, approval will be granted to the first application to be received (see Figure 19).



Figure 18.

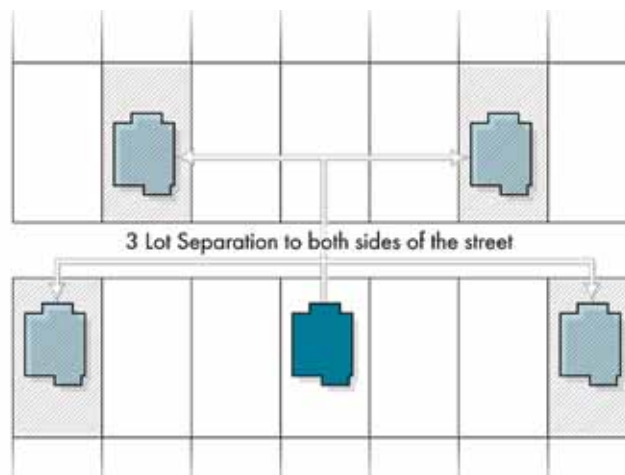


Figure 19.

ROOF DESIGN

- Buildings must include a roof design that is simple in style and is integrated with the total building design. External fixtures such as air conditioning units and service related equipment must not be visible from anywhere within the street frontage.
- Roof materials must be matt in finish and non-reflective.
- Where eaves are to be provided, they are encouraged to be a minimum depth of 450mm.

Examples of contemporary simple roof forms



Figure 20.

Skillion



Figure 21.

Curved



Figure 22.

Flat



Figure 23.

Low Pitched

MATERIALS

- Buildings must incorporate different materials to façades to ensure a visually interesting design and enhance streetscape appeal. Façades must incorporate at least two contrasting materials / finishes to external walls. One of these materials must be feature render to at least 20% of the building frontage.
- Your house façade design should incorporate contemporary materials such as Timber Slat Cladding, Colour Bond®, Rusted Steel, Stacked Stone or similar.
- Your home should incorporate materials which respond to the local climatic coastal conditions.
- Variations of materials to the façade will be considered by the Design Review Committee (DRC) on its own merits.

Figure 24.

Apply varied materials to façade and building sides



Figure 25.

Figure 26.

Figure 27.



Feature Stone Work



Feature Stone Tiles



Feature timber work offering a lightweight / airy effect

COLOUR SCHEME

Primary building colours should reflect a muted earthy tone that will blend with the coastal setting. Beside is a sample of potential primary and accent colours, for use on home exteriors. Accent colours are encouraged to be strategically used for feature architectural elements.

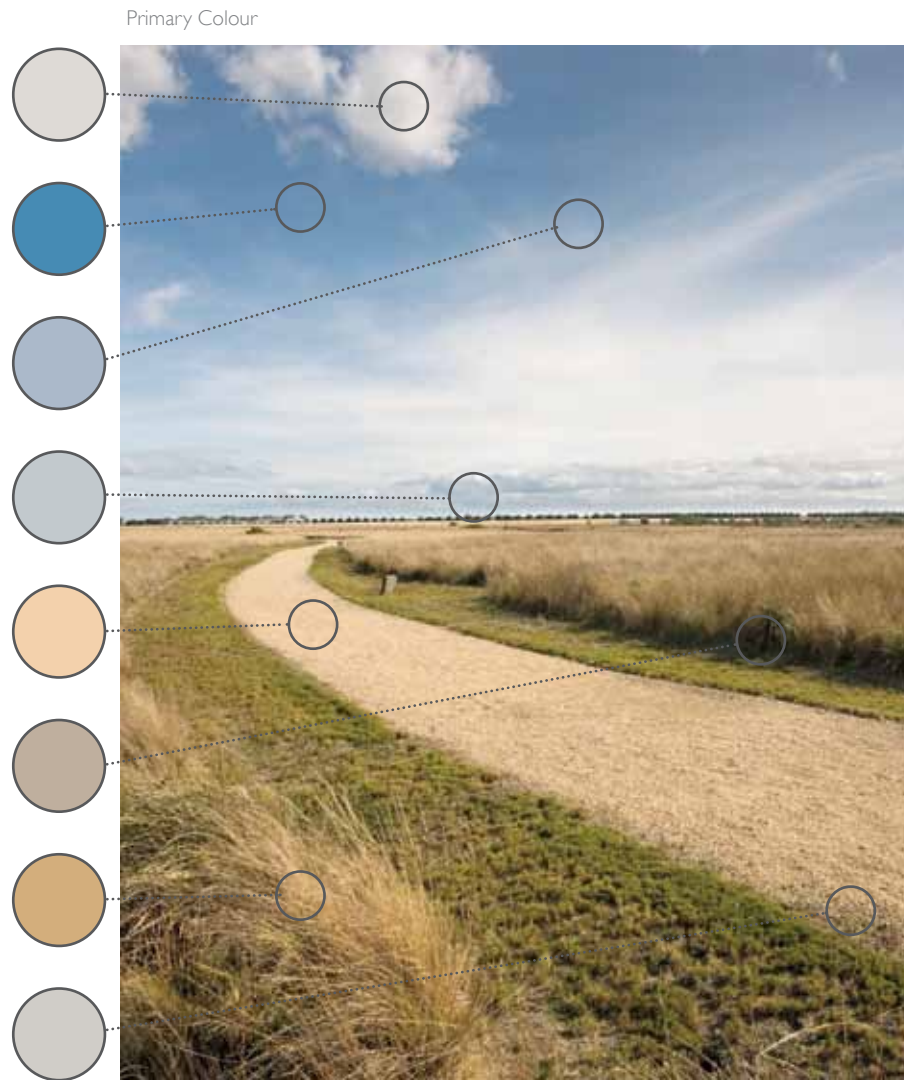


Figure 28.

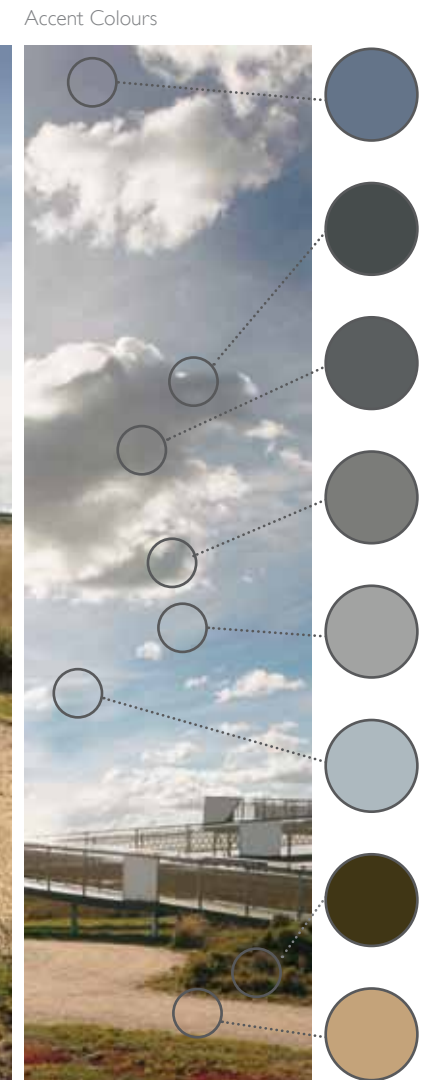


Figure 29.

4.4 ACCESS AND PARKING

4.4.1 Design Objectives

- To ensure that all garages and driveways are integrated with the house design.
- To ensure that garages do not dominate the streetscape.
- To achieve safe access for cars and pedestrians to each dwelling.
- To ensure that garages are set back behind the dwelling frontage .
- To limit the number of vehicle crossovers in the street.

4.4.2 Design Controls

ACCESS AND DRIVEWAYS

- The number of crossovers to individual properties is limited to one. Relocation of crossovers requires FKP Saltwater Coast Design Review Committee approval and related costs must be paid by the property owner prior to work commencing. Relocation is not always possible due to the layout of streets and underground services.
- Driveways must not dominate front gardens. They should be a secondary element to landscaping and not detract from the appearance of the streetscape.
- The design and finish of your driveway must complement the design of your home. Exposed aggregate concrete is the minimum standard and unfinished natural grey concrete or asphalt will not be acceptable. Unit pavers in natural stone, brick or coloured concrete are strongly encouraged.
- Driveways must be completed within 90 days of obtaining a Certificate of Occupancy.
- Maximum width of crossover must be no wider than 4m.



Tile Pavers



Exposed Aggregate



Slate



Mixed Treatments



Stone

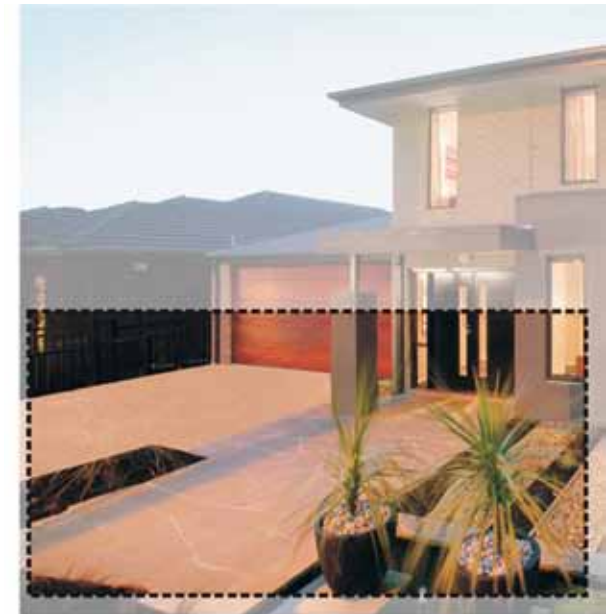


Figure 30.



Figure 31.

GARAGES

- Enclosed garages will be the only type of vehicle accommodation allowed. Car ports are not permitted unless associated with rear loaded lots.
- Garages and garage doors must complement the design of your home and be finished with similar or complementary materials.
- Garage doors must be of a panel lift door or slim line sectional door variety. Roller doors are not permitted to the façade.
- Garages must be set back at least 0.5m behind the front façade of the dwelling.
- Garage width must not exceed the width of the main dwelling façade.
- Secondary garages will be considered by the Design Review Committee (DRC) on its own merits.

REAR ACCESS LOTS

- Rear accessed lots may include enclosed garages or carports provided they are not visible from the front and must be designed and finished to match the main dwelling. Excluding Future Medium Density Sites.



Figure 32.

garage set back behind primary façade



Figure 33.

complementary
garage materials

4.5 LANDSCAPE

4.5.1 Design Objectives

- To encourage the use of plants which are suited to coastal conditions in private gardens.
- To ensure that private gardens enhance the overall image of the development and complement the design of houses.
- To encourage rainwater harvesting and storage.

4.5.2 Design Controls

LANDSCAPING

- Front gardens must display a contemporary character and complement the design of your home.
- At least 60% of the area of front gardens must comprise permeable surfaces such as gravel, bark, sand and porous tiles.
- Gardens must include some indigenous species suited to the coastal setting.
- Every home must provide for on-site rainwater collection in water tanks for garden irrigation. Water tanks must not be visible from the street.

- Your landscape design should minimise lawn areas and incorporate drought tolerant and hardy plants such as succulents, native grasses and coastal planting.
- Landscaping of front gardens must be completed within 90 days of obtaining a Certificate of Occupancy.

HARDSCAPING

- Feature retaining walls must not be higher than 0.5m.
- Other landscape structures such as pergolas must complement the façade of your home or composition of your landscape.

MAINTENANCE

- Landscaped areas are to be established and maintained to benefit the urban environment.
- Gardens must be prepared appropriately to ensure longevity and sustainability.
- Turf is to be regularly cut at a length of 35mm for the front yard & nature strip.
- Gardens and turf are to be kept free of pest, disease and weeds.
- Planting List of preferred species can be obtained from Saltwater Coast Sales Offices.

Feature retaining wall



Figure 34.

Complementary landscaping



Figure 35.

Drought tolerant landscaping



Figure 36.

Minimise large areas of turf / lawn

4.6 FENCING

4.6.1 Design Objectives

- To ensure fencing of residential lots is complementary and consistent with the neighbourhood character.
- To ensure fencing design reflects a contemporary image and style.

4.6.2 Design Controls

SINGLE DWELLINGS LOTS

- Front** Front fencing will not be allowed on any single residential lots. Excluding Future Medium Density Sites.
- Wing Fence** Side wing fences must be set back at least 0.5m from the house façade.
- To be designed and constructed with materials that are complementary to the building façade.

Side & Rear Side fences must be set back 5.0m from the street boundary. No side fences will be permitted in front of the primary building façade.

These fences are specified to be 1800mm high timber paling fence with 5mm overlap, top capping and 2400mm wide intervals of square pine posts with pointed cap.

Where lots abut public open space or main boulevards, fencing shall be provided by the developer.

CORNER SINGLE DWELLINGS LOTS

- Side Street** Side fencing fronting a street must be set back 8m from the primary street boundary.
- The design of side fencing on a corner lot requires the approval of FKP's Saltwater Coast Design Review Committee.

FEATURE FENCING

To be provided by the developer.

These fences are specified to be 1800mm high brush fencing with capping and stone pillars to lots with side fencing to main boulevards and to lots abutting public open spaces.

The liability of FKP in regard to any fencing on residential lots is \$1.00. This follows from s 4(1) (b) and s 30 of the Fencing Act 1965. If the Purchaser wants equal contribution to the fence they should wait until the adjacent block in question is purchased and chase that person for the fencing contribution.



Figure 37. Example of feature fence



Figure 38. Example of side wing fence



Figure 39. Example of side and rear fences

4.7 ANCILLARY FEATURES

4.7.1 Design Objectives

- To ensure that ancillary features are designed to complement the design of houses and neighbourhood character in general.

4.7.2 Design Controls

SERVICES AND STORAGE

- Sheds, TV antennas, bin storage, clothes lines, rainwater tanks, heating and cooling equipment (hot water units / ducted heating units) and service areas must not be visible from the street frontage or public spaces. Their locations must be indicated on site plans as part of the application.
- Air conditioning units must be located below the eaves line and must not be visible from the street or public view. Evaporative cooling units must be low profile and located below the ridge line, to the rear of the house. All units must be discreet in appearance and blend with the roof / wall tone.

- Solar hot water systems may be located in the best functional position. If possible, locate solar panels away from public view.
- Saltwater Coast will be part of the Telstra Smart Communities® and provided with innovative Telstra Velocity™ optical fibre technology. As such, there will be no need for TV antennas or satellite dishes to be installed to your home.

LETTERBOXES

- Letterboxes must be of a robust and contemporary design to complement the appearance of the house.
- Letterboxes must be installed prior to a Certificate of Occupancy being obtained. Temporary letterboxes are not acceptable.

ADVERTISING

- The promotion of houses for sale and advertising of builders during construction is limited to one sign for each property unless prior approval is granted by the FKP Saltwater Coast Design Review Committee.
- No for sales sign are permitted on vacant land. No other advertising signs are permitted on either vacant land or occupied allotments.
- No handwritten signs will be allowed.



Figure 40. Air conditioning or service related equipment must not be visible from public view



Figure 41. Screening devices / side wings to match house façade.



Figure 42. Complementary letter boxes to match contemporary façades

5 ACKNOWLEDGEMENT

The Purchasers acknowledge that they have received a copy and read the Saltwater Coast Design Guidelines and agree to comply with all Design Objectives and Design Controls outlined in this document.

NON-COMPLIANCE

Any breach of the design guidelines is viewed very seriously by the Developer.

Upon the receipt of a letter from the Developer advising a breach of the Design Guidelines, the Purchaser must immediately rectify the identified breach.

Purchaser Signature

Name in print



Figure 43.



Figure 44.

6 SALTWATER COAST DESIGN GUIDELINES APPLICATION FORM

Complete and attach this cover sheet to your application to the Design Review Committee.

Allotment Details

Lot number _____

Street _____

Owner Details

Full Name _____

Mailing Address _____

Phone BH (_____) _____

Mobile (_____) _____

Email _____

Builder Details

Name _____

Company _____

Mailing Address _____

Phone BH (_____) _____

Mobile (_____) _____

Email _____

Design Details

House Type _____

Façade Type _____

Attachments

CHECKLIST

These details are usually supplied by your builder or architect

2 x A3 copies of full set of building plans including site plan, floor plan, roof plan, and elevations

2 x copies of Material and Colour Schedule for the dwelling

Please ensure the following elements are indicated on building plans:

- The location, materials, height and colour of front, side and rear fences
- The materials and colour for the driveway
- The colour and type of garage door
- Details of any cut and fill proposed to create the building platform and driveway, final levels and any retaining walls proposed
- The location of external fixtures including:
 - Clothesline
 - Garden shed(s)
 - Solar water heater, hot water service, ducted heating unit
 - TV antenna
 - Air conditioner
 - Letter box
- Any proposed change to the location of the crossover



I / We certify that the information in the attached application is a true and accurate representation of the home I / we intend to construct. In the event that changes are made to the proposed plans, I / we undertake to resubmit this application for approval of such changes.

Signed _____

Date ____ / ____ / ____

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